



3

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KEITH NEWMAN, PLANNER II *KN*
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 4, 2019

SUBJECT: DR19-63, A/C DOCTORS

STRATEGIC INITIATIVE: Exceptional Built Environment

Encourage the protection and expansion of land designated in the General Plan for Employment uses.

REQUEST

DR19-63, A/C Doctors: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.17 acres, generally located at the northeast corner of Horne Street and Melody Avenue, and zoned Light Industrial (LI).

RECOMMENDED MOTION

Staff request input only. No motion required.

APPLICANT/OWNER

Company: CEW Associates
Name: Dan Christensen
Address: 3955 E. Main St. #6
Mesa, Arizona 85205
Phone: 480-562-6659
Email: CEWassociates@yahoo.com

Company: A/C Doctors
Name: Doug Davis
Address: 680 N. Golden Key St.
Gilbert, Arizona 85233
Phone: 602-362-8679
Email: doug@theacdoctors.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>February 15, 2005</i>	Town Council approved Z03-13 (Ordinance No. 1631), rezoning approx. 38 acres from (AG) Agricultural to (C-2) General Commercial and (I-1) Garden Industrial for property located west of the southwest corner of Cooper Road and Baseline Road.
<i>July 11, 2006</i>	The Town Council approved the Final Plat for the Fuller Commercial Center II.

Overview

The applicant proposes to construct a new industrial office/warehouse building consisting of approx. 7,832 total square feet (4,840 sq. ft. of office space and 2,992 sq. ft. of warehouse space), generally located at the northeast corner of Horne Street and Melody Avenue.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC)	Shoppes at Gilbert Commons Phase 3
South	Light Industrial (LI)	Light Industrial (LI)	Vacant land
East	Light Industrial (LI)	Light Industrial (LI)	Vacant land
West	Light Industrial (LI)	Light Industrial (LI)	Vacant land & Senergy Petroleum
Site	Light Industrial (LI)	Light Industrial (LI)	Vacant land

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height	45'	30'
Minimum Building Setbacks		
Front (collector)	25'	110'-7"
Side to street	20'	20'
Side to employment	0'	85'-10"
Rear to employment	0'	96'-9"
Minimum Required Perimeter Landscape Area		
Front	25'	25'
Side to street	20'	20'
Side to non-residential	5'	10'
Rear to residential	5'	5'

Landscaping (% of lot area)	15%	31.8%
Parking Spaces	22 spaces	25 spaces

DISCUSSION

Staff has recently issued 2nd review comments to the applicant for the project and is supportive of the overall development and is requesting a Study Session to receive Planning Commission/DRB input concerning the design of the building elevations.

Site Plan:

The proposal consists of a new office/warehouse industrial building with approx. 7,832 total square feet (4,840 sq. ft. of office space and 2,992 sq. ft. of warehouse space), generally located at the northeast corner of Horne Street and Melody Avenue.

The overall site is currently vacant land and consists of one (1) lot that totals 1.17 acres. The site plan shows two access points off Melody Ave., one for standard vehicular traffic on the far west side and a secondary entrance for access to the rear yard at the east end of the site. The building is centered along Melody Ave. with parking located to the west of the building along Horne St. The rear yard to the north and east of the building will be surfaced with asphalt and utilized to store company equipment and vehicles and entirely screened from view by an 8' high CMU screen wall. Pedestrian access to the site will be provided via an existing sidewalk along Horne St. The site fencing includes an 8' high perimeter screen wall on the northern and eastern property line, and a 3' high parking screen wall located in front of the parking stalls along Horne Street and Melody Ave.

Based on the parking ratios of office/warehouse, 22 parking spaces are required, and 25 spaces would be provided. Bicycle parking will be provided near the main entrance of the building at the southwest corner of the site with 4 bike spaces.

During the 1st and 2nd review Staff has recommended the applicant provide an outdoor employee amenity area consisting of permanent shade in the form of a solid roof shade structure attached to the building, which is encouraged by the adopted Employment Design Guidelines.

Landscape Plan:

The landscape plan proposes a varied palette of trees and shrubs. The types of trees include: Chinese Elm, Sisso Trees, and Desert Museum Palo Verde. Some of the shrub and ground cover types include: Bottlebrush, Morning Glory, Fairy Duster, Texas Sage, Mearns Sumac, Mexican Honeysuckle, Mexican Evening Primrose and New Gold Lantana. Foundation landscaping is only located along the western and southern elevations and visible from public view. No landscaping is proposed or required in the secure yard area, which will not be visible or accessed by the public.

Building Elevations:

The proposed building will be 30' tall with the primary building entrance defined by a steel canopy feature with evenly spaced square windows on either side. The main construction materials for the building will be smooth face and split face CMU block and steel canopies over all windows. The roofing and general massing is relatively flat with some roofline variation and parapet roofing at

the top of the building. The proposed color palette consists of mainly four (4) different shades of tan/brown for all building walls and steel canopies above the main entrance and above all windows.

During review, staff has expressed concern over the lack of horizontal movement, long blank walls with no articulation, design of the main entry, window variation, window canopy design/placement, similarity of paint colors and lack of design consistency of other buildings in the immediate area. Staff is suggesting that additional visual interest be provided on all four elevations to include additional horizontal movement or shadow lines, color variation and other façade treatments. We are also suggesting that the design of the main entryway be enhanced, making it more of a focal point facing the public right of way.

Grading and Drainage:

Runoff as required by the Town shall be routed to common retention basins located throughout the subdivision. No on-site retention is required. Town Engineering Staff is in the process of analyzing all proposed site grading and drainage.

Lighting and Signage:

Wall mounted light fixtures are attached to the building on all four sides. No freestanding light poles are proposed on the site as parking is close enough to the building to ensure enough site lighting and security.

Currently the applicant is not proposing any signage. Future signage will require Design Review and a sign permit approval to ensure compliance with all sign code requirements.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require a public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. Overall building architecture

Respectfully submitted,

Keith Newman
Planner II

Attachments and Enclosures:

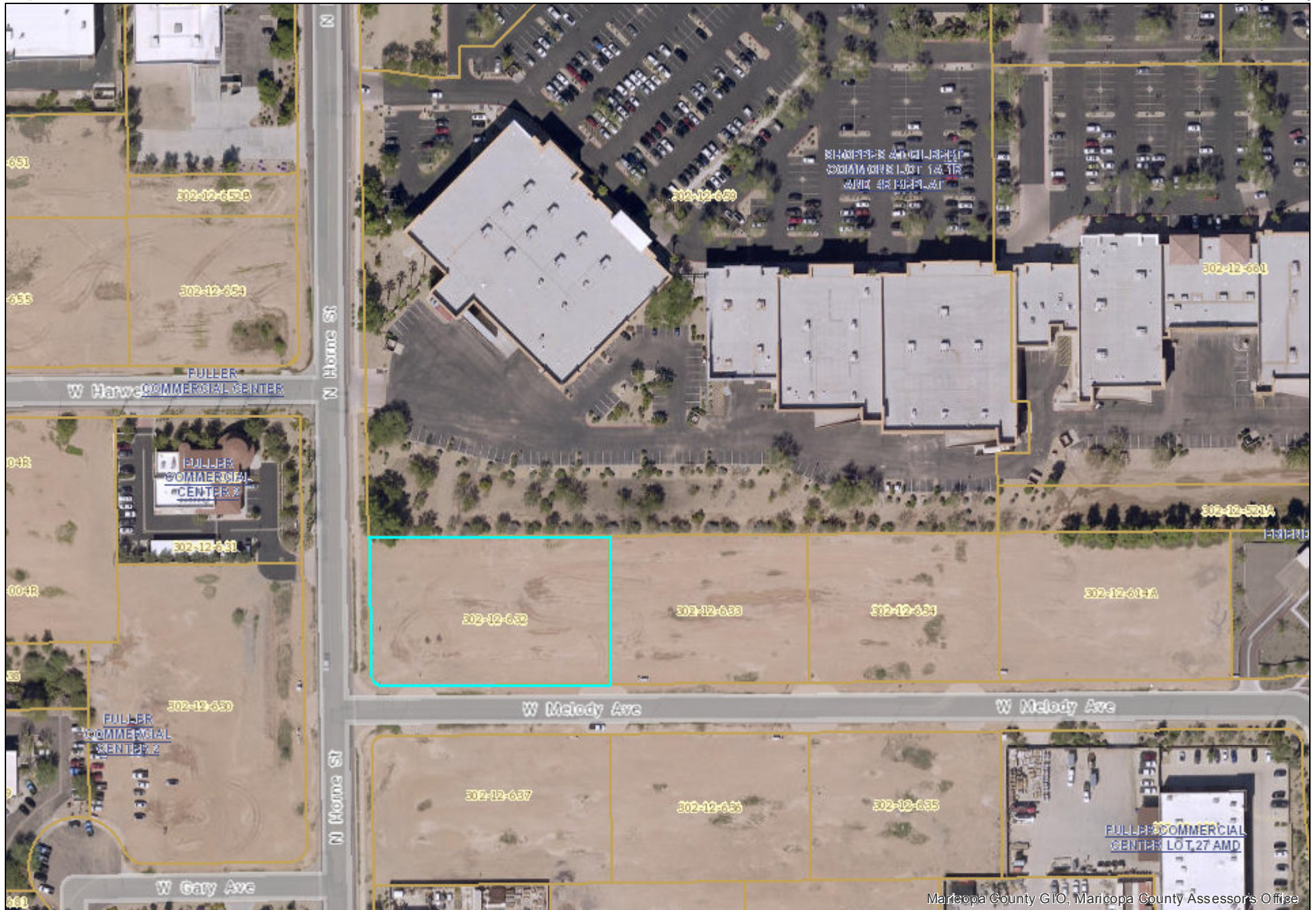
- 1) Vicinity/Aerial Map
- 2) Site Plan
- 3) Landscape Plan
- 4) Grading and Drainage Plan

- 5) Building Elevations
- 6) Floor Plan
- 7) Lighting Plan
- 8) Colors and Materials
















Map

DR19-63 A/C Doctors
Attachment 1: Vicinity/Aerial Map
September 4, 2019



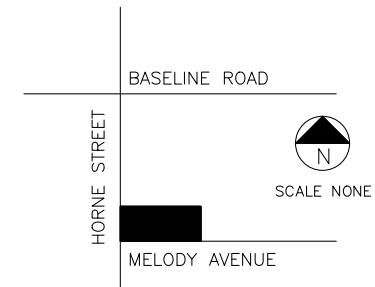
VICINITY MAP

	PROPOSED BUILDING		FIRE HYDRANT
	PAINTED FIRE CURB		FIRE DEPARTMENT CONNECTION
	SCREEN WALL		PROPERTY CORNER
	SECURITY FENCE		WATER METER
	NEW SIDEWALK		KNOX BOX
	METAL CANOPY		LOCK BOX
	LANDSCAPING		

FIRE APPARATUS ROUTE

SOME SYMBOLS MAY NOT APPEAR ON SHEET

ZONING RC



PROJECT DATA

OWNER:	AC DOCTORS		
PROJECT ADDRESS:	1906 W. MELODY AVE. GILBERT, AZ 85233		
PARCEL NUMBER:	302-12-632		
ZONING:	LI		
TYPE OF CONSTRUCTION:	II - B (AUTO. FIRE EXTING. SYS.)		
SITE AREA:	51,321 SQ/FT 1,1782 ac		
ALLOWABLE AREA PER BLDG: (PER IBC TABLE 503)	B- 23,000 SF S1- 17,500 SF		
AREA INCREASE PER BLDG: (PER IBC 506.3)	B- 46,000 SF S1- 35,000 SF		
BUILDING HEIGHT ALLOWABLE:	55'-0"		
BUILDING HEIGHT:	30'-0"		
BUILDING AREA ALL BLDGS:	OFFICE AREA 4,840 SQ/FT WAREHOUSE 2,992 SQ/FT		
	TOTAL BUILDING AREA: 7,832 SQ/FT		
	CANOPYS 130 SQ/FT		
	TOTAL SQUARE FOOTAGE: 7,962 SQ/FT		
PARKING REQUIRED ALL BUILDS: PER T.O.G. LDC 4.204	OFFICE=1 PER 250SQ/FT 19 SPACES WAREHOUSE=1 PER 1000SQ/FT 3 SPACES		
	TOTAL REQ'D 22 SPACES		
PARKING PROVIDED TOTAL:	REGULAR PARKING 24 SPACES ADA ACCESSIBLE PARKING 1 SPACES		
	TOTAL PROVIDED: 25 SPACES		
LANDSCAPE AREA TOTAL:	ON-SITE 16,011 SQ/FT OFF-SITE 0 SQ/FT		
	TOTAL LANDSCAPE AREA: 16,011 SQ/FT		
	AREA PERCENT (%) COVERAGE 31.81		
	REQ'D AREA PERCENT (%) COVERAGE N/A		

OCCUPANCY: (NON-SEPERATED OCCUPANCY PER IBC 508.3.2)	.S-1	7,832 SQ/FT	
		<u>MOST RESTRICTIVE: S-1</u>	
OCCUPANCY LOAD:	2,992 / 500	6 OCC.	
(FOR EXITING)	OFFICE 4,840 / 100	48 OCC.	
	TOTAL OCCUPANTS:	<u>54 OCC.</u>	
EXITING REQUIRED:	(IBC 1015.1)	WIDTH (IBC TABLE 1005.1)	
	2 EXITS	8'4" OR 36" MIN.	
EXITING PROVIDED:	.3 EXITS	WIDTH = 36" EACH	
MAX. EXITING DISTANCE:	.S-1 200'	w/ AFES: 250'	
(IBC TABLE 1016.1)	<u>MOST RESTRICTIVE:</u>	<u>250'</u>	
COMMON PATH OF TRAVEL:	.S-1	100'	
(IBC 1014.3[1])	<u>MOST RESTRICTIVE:</u>	<u>100'</u>	

MOST RESTRICTIVE Occ. = B							
REQ'D			WC	UR	LAV	DF	OTHER
BUSINESS	B	54 Occ	1/25 = 1	---	1/40 = 1	1/100 = 1	1 SINK
TOTAL			3	---	2	1	1
PROVIDED			5	---	5	2	1

REVISIONS

Δ	DESCRIPT



ASSOCIATES

929 79th St. Mesa, AZ 85208
Phone: 480-562-6659
email: cewassociates@yahoo.com

THE AC DOCTORS
1096 W. MELODY AVE
GILBERT, AZ 85233

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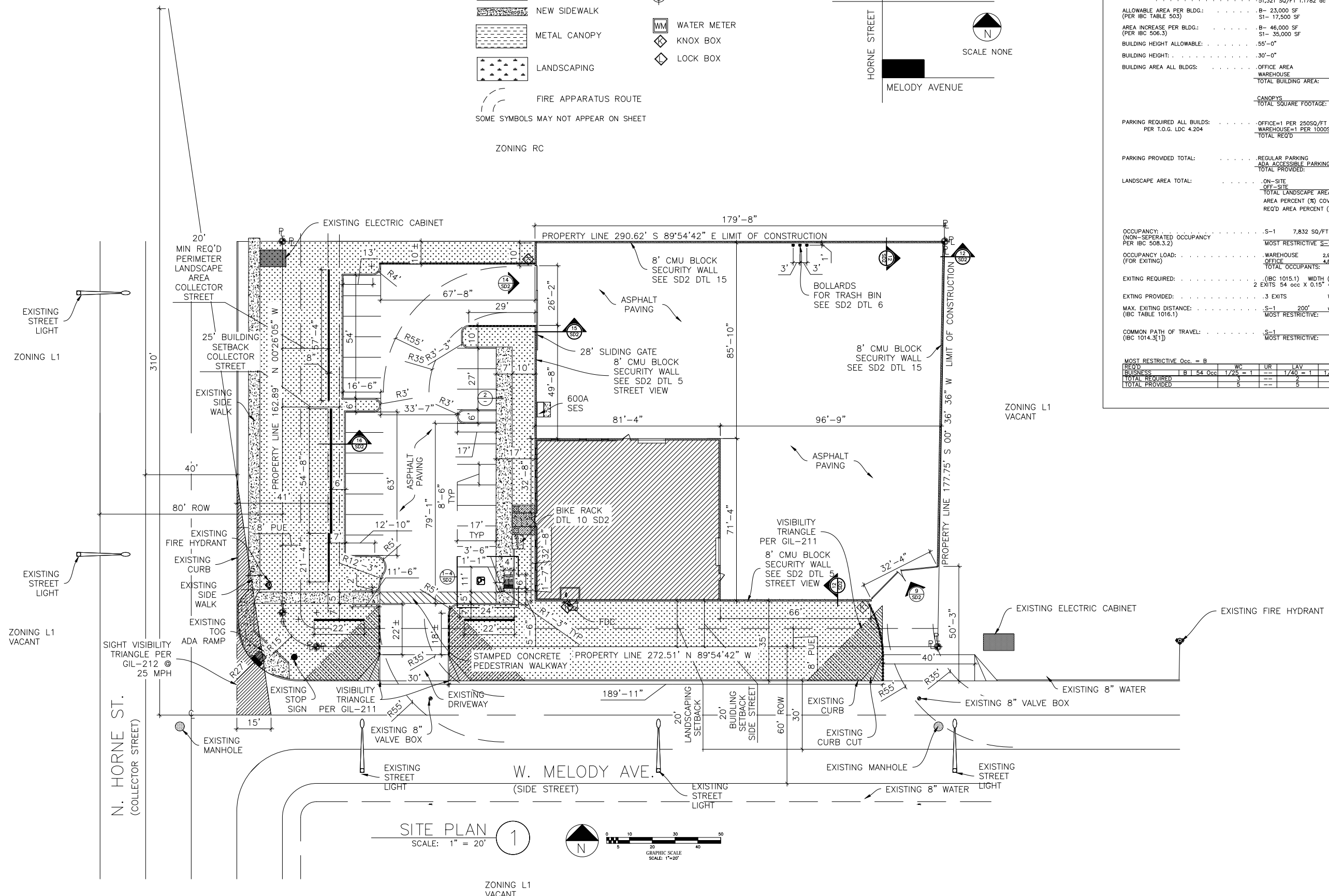
**PRELIMINARY
SITE PLAN
& DETAILS
SITE
DEVELOPMENT**

BY MCS	DATE 8-1-2019
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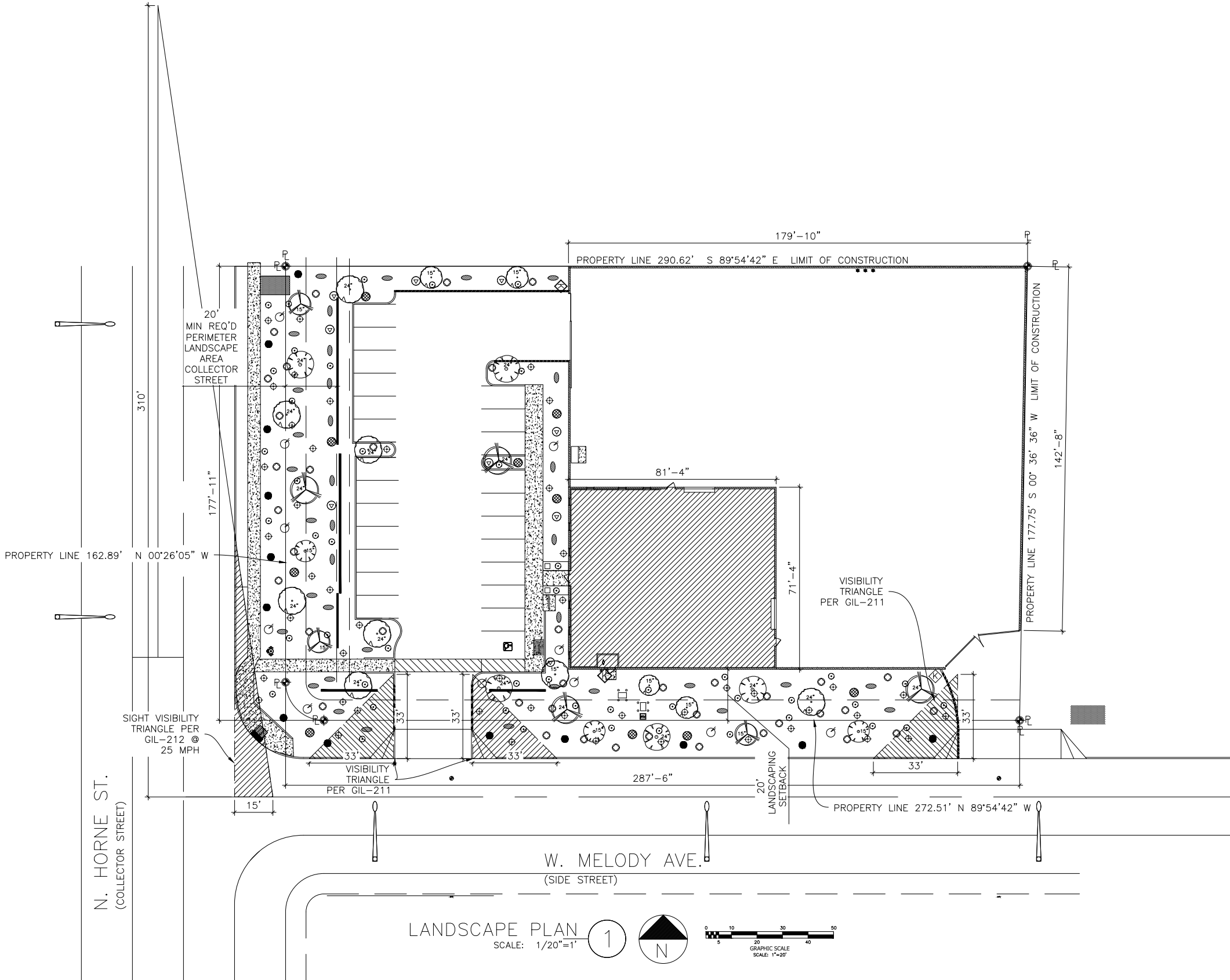
EXHIBIT

4

FILE NO.

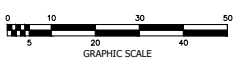


DR19-63 A/C Doctors
Attachment 3: Landscape Plan
September 4, 2019



LANDSCAPE PLAN
SCALE: 1/20"=1'

1



LANDSCAPE AREA TOTAL:		ON-SITE	16,011 SQ/FT
		OFF-SITE	0 SQ/FT
		TOTAL LANDSCAPE AREA:	16,011 SQ/FT
		AREA PERCENT (%) COVERAGE	31.81
		REQ'D AREA PERCENT (%) COVERAGE	N/A

PLANT LEGEND				
SYMBOL	COMMON / BOTANICAL NAME	SIZES	QTY	EMITTER QTY\TYPE
TREES:				
	SISSOO TREE	24" BOX = 7	4/T	
	DALBERGIA SISSO	15" BOX = 4		
	CHINESE EVERGREEN ELM	24" BOX = 4	4/T	
	Ulmus parvifolia cv. 'Sempervirens'	15" BOX = 3		
	DESERT MUSEUM PALO VERDE	24" BOX = 5	4/T	
	CERCIDIUM "DESERT MUSEUM"	15" BOX = 3		
SHRUBS:				
	Salt Resistant Bottlebrush	5 GAL. = 5	2-3/S	
	Callistemon phoeniceus	1 GAL. = 5		
	Bush Morning Glory, Silverbush	5 GAL. = 4	2-3/S	
	Convolvulus cneorum	1 GAL. = 6		
	Fairy Duster	5 GAL. = 20	2-3/S	
	Calliandra peninsularis	1 GAL. = 27		
	Texas Sage, Texas Ranger	5 GAL. = 20	2-3/S	
	Leucophyllum spp.	1 GAL. = 19		
	Mearns Sumac	5 GAL. = 20	2-3/S	
	Rhus choriophylla	1 GAL. = 27		
	Mexican Honeysuckle, Chuparosa	1 GAL. = 12	2-3/S	
	Justicia spp.			
GROUND COVER:				
	Mexican Evening Primrose	1 GAL. = 34	1 /G.C.	
	Oenothera berlandieri (O.speciosa)			
	NEW GOLD LANTANA	1 GAL. = 13	1 /G.C.	
	LANTANA CAMARA (O.speciosa)			
IN ORGANIC GROUND COVER TO BE MIN. 2" DECOMPOSED GRANITE 1/2" SCREENED. COLOR: "APACHE BROWN"				

GENERAL LANDSCAPE NOTES

ALL TREES HEIGHTS AND CALIPER SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE "ARIZONA NURSERY ASSOCIATION-RECOMMENDED TREE SPECIFICATIONS" SEE SECTION 1903(6)(a).

CONTRACTOR MAY NEED TO USE LARGER SIZE CONTAINERS TO ACHIEVE MINIMUM SIZES. THIS IS TO BE DONE AT NO ADDITIONAL CHARGE TO OWNER.

IF THERE ARE ANY CONFLICTS BETWEEN THESE PLANS, DETAILS, AND NOTES AND THE WRITTEN SPECIFICATIONS, THE PLANS, DETAILS AND NOTES SHALL PREVAIL.

IN ORGANIC GROUND COVER TO BE MIN. 2" DECOMPOSED GRANITE 1/2" SCREENED. COLOR: "APACHE BROWN"

NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL.

ALL RIGHT-OF-WAY PLANT MATERIAL TO BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST. FOR THE PHOENIX ACTIVE MANAGEMENT AREA.

REFER TO NOTES, DETAILS AND ARCHITECTURAL/ENGINEERING DRAWINGS

SEE CIVIL DRAWINGS FOR LEGAL DESCRIPTION.

STREET LIGHTS IN R.O.W. ARE EXISTING.

NOTE: ALL STREET IMPROVEMENTS & STREET FRONTAGE LANDSCAPING FOR THE ENTIRE SITE TO BE INSTALLED IN THE FIRST PHASE OF CONSTRUCTION.

NOTE: ALL LANDSCAPING MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER/ASSOCIATION IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPING INDUSTRY.

NOTE: ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'.

NOTE: REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT A PART OF THE LANDSCAPE DESIGN.

REQUIREMENTS	HORNE COLLECTOR		MELODY LOCAL ST		INTERIOR PARKING	
	SHRUBS	TREES	SHRUBS	TREES	SHRUBS	TREES
SIZE	1 PER TREE	3 PER TREE	1 PER TREE	3 PER TREE	1 PER TREE	3 PER TREE
AREA	50% 24" BOX	MIN 5 GALLON	50% 24" BOX	MIN 5 GALLON	50% 24" BOX	MIN 5 GALLON
REQUIRED	7 TREES	21 SHRUBS	12 TREES	27 SHRUBS	4 TREES	12 SHRUBS
PROVIDED	7 TREES	48 SHRUBS	12 TREES	80 SHRUBS	4 TREES	37 SHRUBS
TREE SIZE	24"	4	24"	4	24"	4
SHRUB	5 G	5	5 G	6	5 G	6
SHRUB	1 G	21	1 G	36	1 G	12
25% GROUND COVER	22	23	23	23	23	23

REVISIONS

DATE	DESCRIPTION
7/26/2019 <td>DESIGN REVIEW NOTES</td>	DESIGN REVIEW NOTES

C.E.W. ASSOCIATES LLC
ARCHITECTURAL DESIGN

929 7th St. Mesa, AZ 85208
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REGISTERED ARCHITECT
13202 DAN CHRISTENSEN
Arizona, USA
30 JUNE 2020

LANDSCAPE PLAN

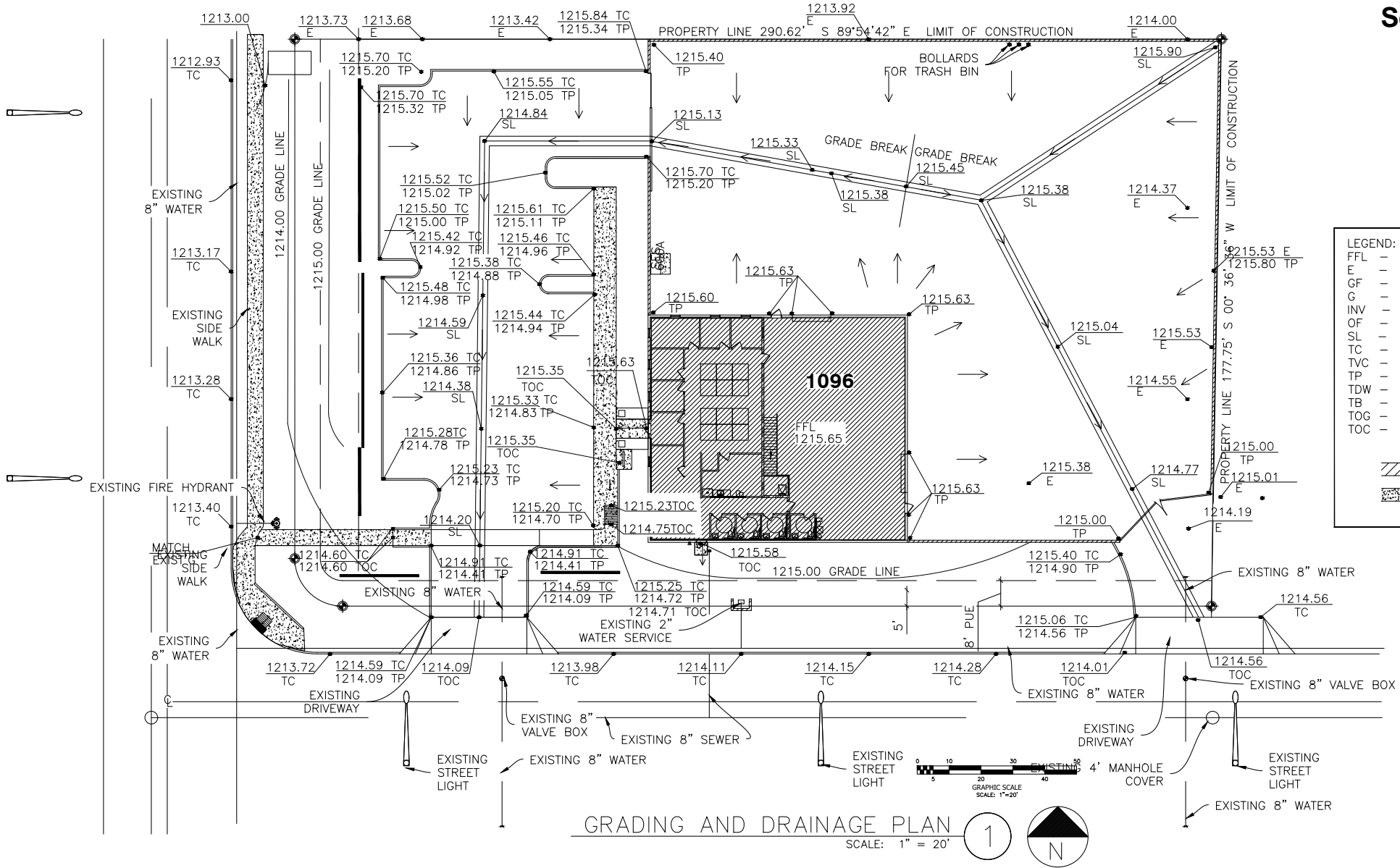
SITE DEVELOPMENT

MCS DATE 08-01-2019

EXHIBIT 5

FILE NO.

DR19-63 A/C Doctors
Attachment 4: Grading and Drainage Plan
September 4, 2019



LEGEND:

- FFL - FINISHED FLOOR LINE
- E - EXISTING
- GF - GUTTER FLOW LINE
- G - FINISHED GRADE
- INV - INVERSE
- OF - OUTFALL
- SL - SWALE LINE
- TC - TOP OF CURB
- TVC - TOP OF VALVE COVER
- TP - TOP OF PAVEMENT
- TDW - TOP OF DRY WELL COVER
- TB - TOP OF CONTROL BOX COVER
- TOG - TOP OF GRATE
- TOC - TOP OF CONCRETE

DRAINAGE REPORT

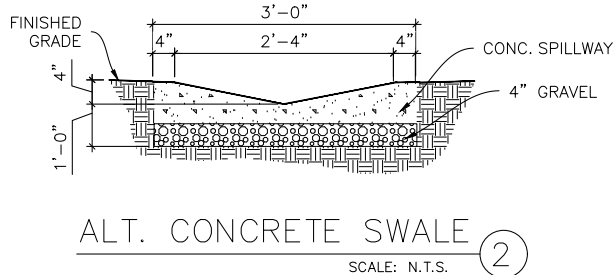
LOT 4, FULLER COMMERCIAL CENTER II, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 212 OF MAPS, PAGE 4.

ITEM	AREA	UNIT	AMOUNT
TOTAL AREA	51,321	SQ. FT.	
DESERT LANDSCAPING	16,221	SQ. FT.	X .7 X.25 = 2,334.7 CU. FT.
ROOF AND CONC.	9,468	SQ. FT.	X .95 X.25 = 2,248.65 CU. FT.
ASPHALT PAVING	10,632	SQ. FT.	X .95 X.25 = 2,525.1 CU. FT.
TOTAL DRAINAGE			7,087.42 CU. FT.

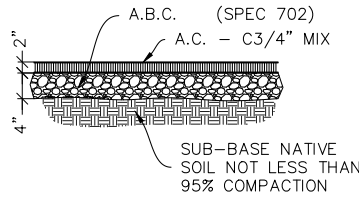
THIS PROPERTY'S DRAINAGE CONFORMS TO THE MASTER PLAN FOR FULLER COMMERCIAL CENTER.

NOTE:

1. MAINTAIN WATER LINE/SEWER LINE SEPARATION AS PER M.A.G. DTL 404-1
2. IF WATER LINE/SEWER LINE IS LESS THAN SHOWN IN M.A.G. DTL 404-1 INSTALL AS PER M.A.G. DTL 404-3



ALT. CONCRETE SWALE
SCALE: N.T.S. 2



TYPICAL PAVEMENT SECTION
SCALE: 1/2"=1' 3

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

CEW ASSOCIATES LLC
Architectural Design

929 79th St. Mesa, AZ 85208
Phone: 480-562-6659
email: cewassociates@yahoo.com

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REGISTERED ARCHITECT
13202 DAN CHRISTENSEN
Arizona, USA
30 JUNE 2020

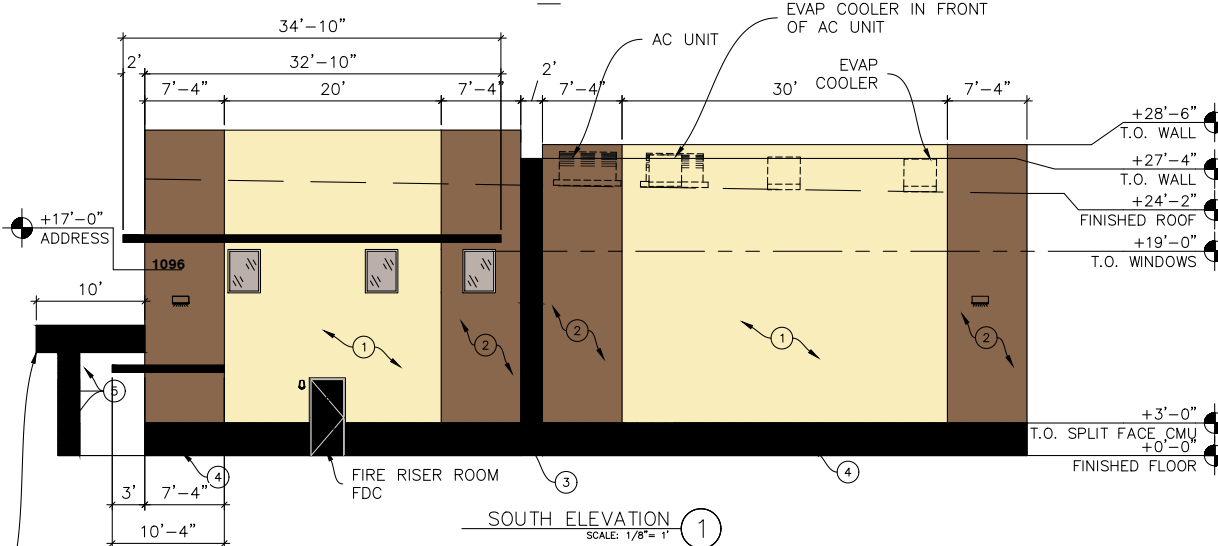
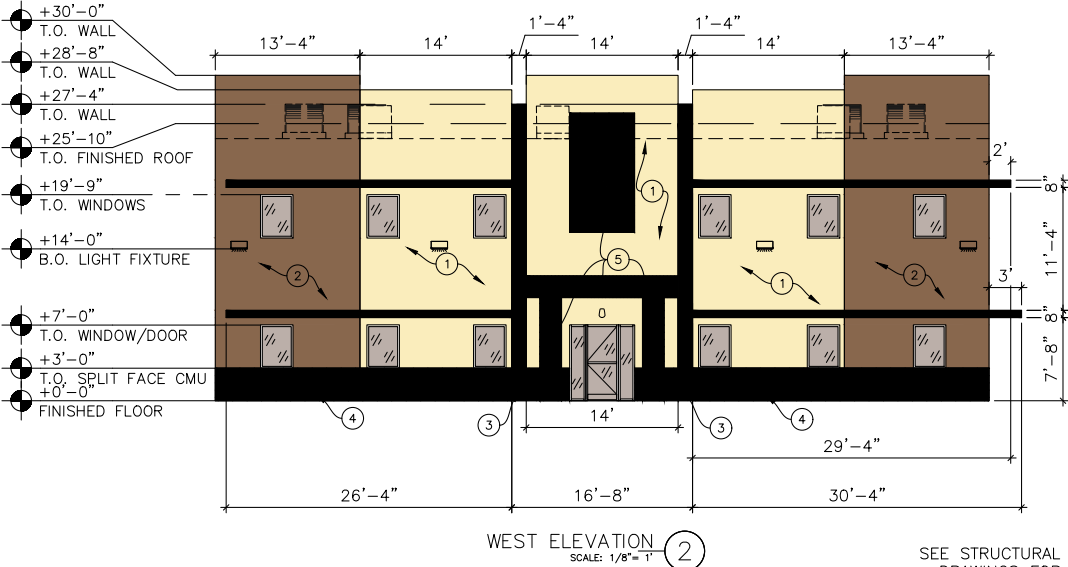
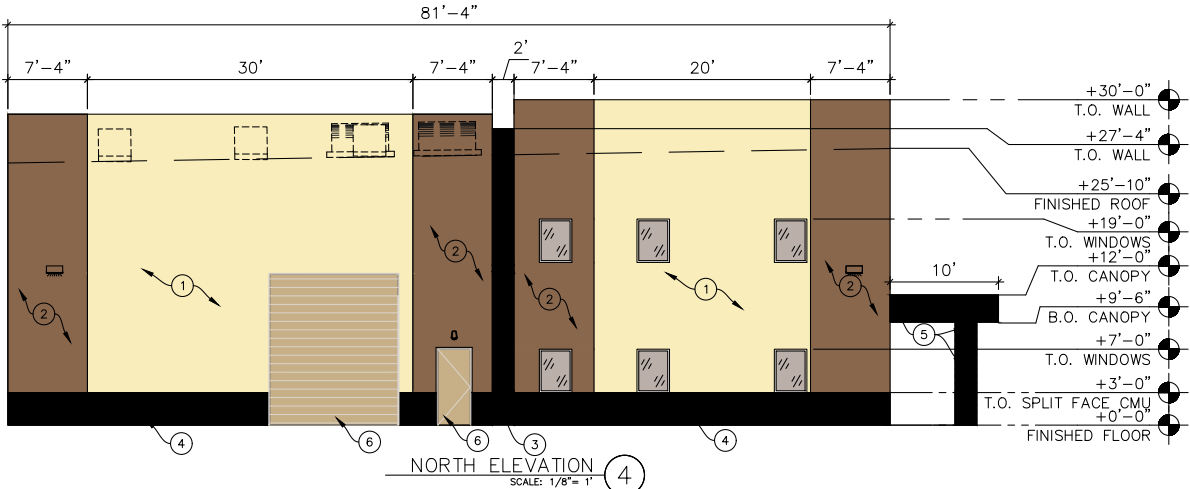
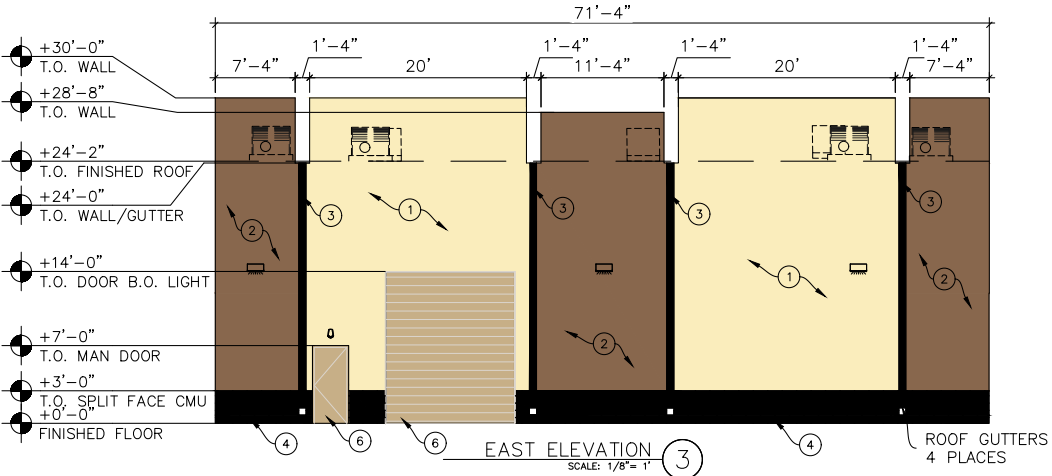
GRADING & DRAINAGE
CIVIL DRAWINGS

BY: MCS DATE: 08-01-2019

EXHIBIT 6

FILE NO.

ARIZONA BLUE STAKE
CALL 2 WORKING DAYS
BEFORE YOU DIG
DIAL-811 OR
620-263-1100
1-800-STAKE-IT
OUTSIDE MARICOPA COUNTY



SEE STRUCTURAL
DRAWINGS FOR
CANOPY DETAILS

COLOR/MATERIAL SCHEDULE:

DESCRIPTION	HATCH	MATERIAL	COLOR
1 BUILDING BASE COLOR		CMU BLOCK	BEHR VANILLIA MOCHA N260-1 290E-1
2 ACCENT COLOR		CMU BLOCK	BEHR WESTMINSTER N270-6
3 ACCENT COLOR		CMU BLOCK	BEHR SASSAFRAS TEA HDC-CL-13
4 ACCENT COLOR 'SPLIT FACE'		SPLIT-FACE CMU BLOCK	BEHR SASSAFRAS TEA HDC-CL-13
5 CANOPY;POST;PILLAR		MBCI CANOPY; POST; PILLAR	MBCI KOKO BROWN/PAINT TO MATCH MBCI BROWN MBCI-KOKO BROWN
6 MAN/ROLL UP DOORS		PRE-PAINTED BIEGE	BEIGE

REVISIONS

NO.	DESCRIPTION	DATE

CEW ASSOCIATES LLC
ARCHITECTURAL DESIGN
929 7th St. Mesa, AZ 85208
Phone: 480.462.6659
email: cewassociates@ahss.com

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GILBERT, AZ 85233

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13202
DAN
CHRISTENSEN
State of Arizona
30 JUNE 2020

EXTERIOR
ELVEVATIONS

ARCHITECTURAL
DRAWINGS

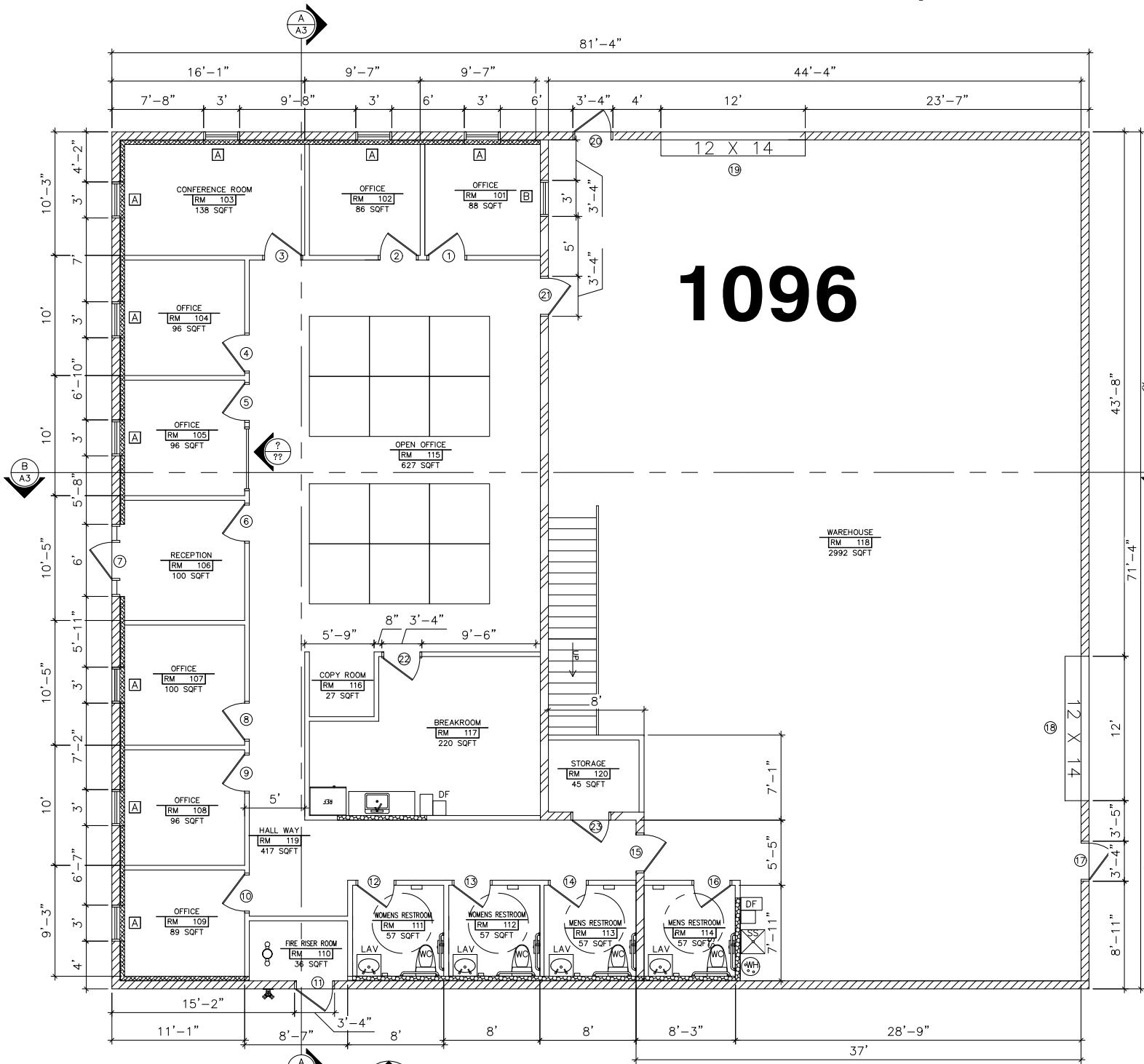
BY MCS DATE 08-01-2019

EXHIBIT 8

FILE NO.

DR19-63 A/C Doctors
Attachment 6: Floor Plan
September 4, 2019

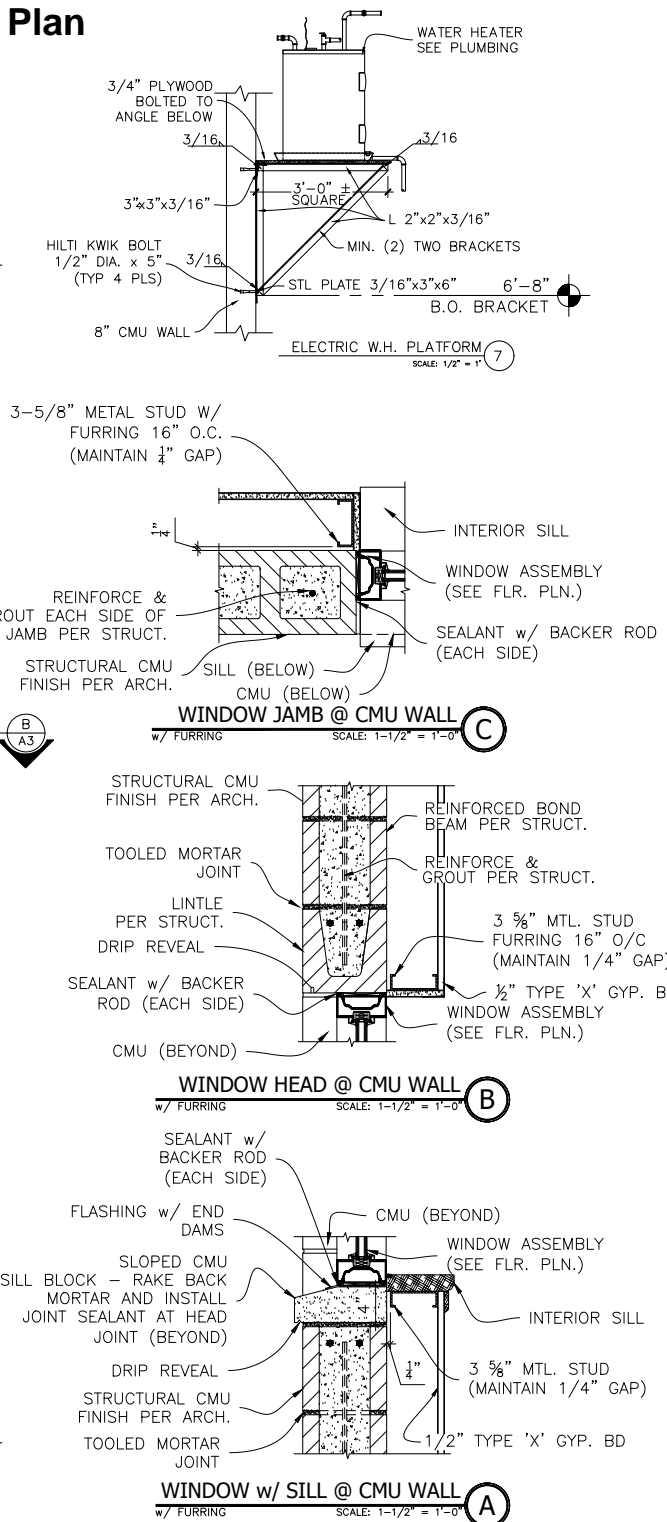
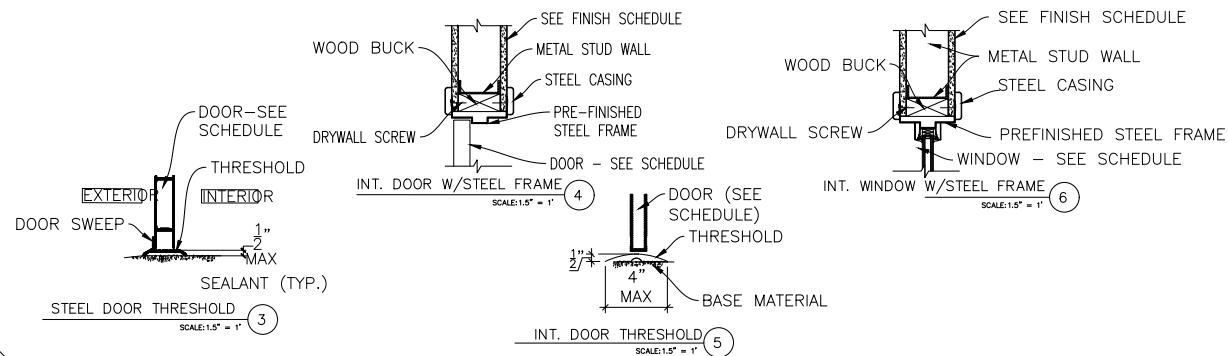
1096



FIRST FLOOR PLAN

SCALE: 3/16" = 1'

1



WINDOW w/ SILL @ CMU WALL

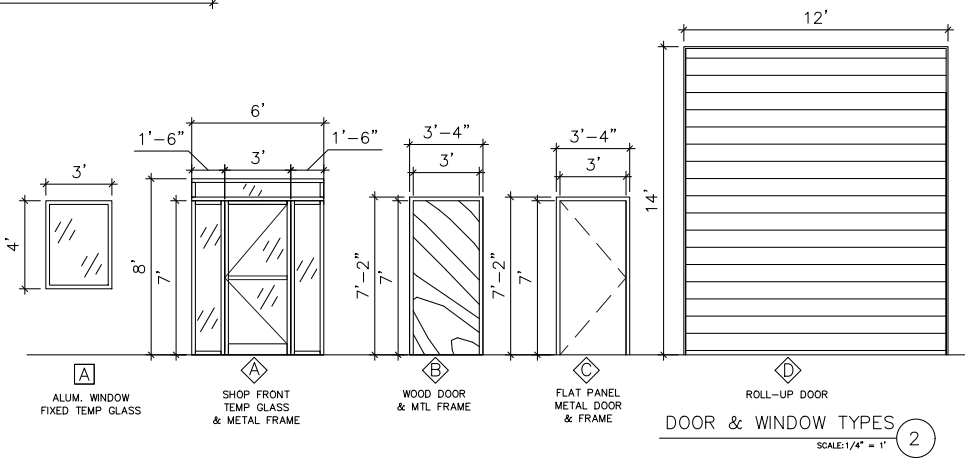
w/ FURRING SCALE: 1-1/2" = 1'-0"

WINDOW HEAD @ CMU WALL

w/ FURRING SCALE: 1-1/2" = 1'-0"

WINDOW JAMB @ CMU WALL

w/ FURRING SCALE: 1-1/2" = 1'-0"



DOOR & WINDOW TYPES

SCALE: 1/4" = 1'

2

SYMBOL LEGEND

	DOOR NUMBER		ROOM NAME
	WINDOW NUMBER		ROOM NUMBER & NAME
	DETAIL INDICATOR		OCCUPANCY INDICATOR
	SECTION INDICATOR		INT. ELEVATION DESIGNATION

WALL LEGEND

	CONCRETE MASONRY WALL (CMU WALL)
	BURIED OUT CMU WALL
	6" METAL STUD PARTITION WALL
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 5/8" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	3/4" TYPE "X" GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS • 16" O.C. w/ 3/4" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 3/8" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.
	1/2" TYPE "X" GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS • 16" O.C. w/ 1/2" TYPE "X" GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.

ROOM FINISH SCHEDULE:

ROOM NO.	ROOM NAME	FLOOR MATERIAL	BASE MAT.	N	E	S	W	CEILING MATERIAL	CEILING HEIGHT	REMARKS
101	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
102	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
103	CONFERENCE ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE
104	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
105	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
106	RECEPTION	2	6	3	3	3	3	8	+8'-0"	4" BASE
107	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
108	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
109	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE
110	FIRE RISER ROOM	1	6	3	3	3	3	3	+8'-0"	4" BASE
111	WOMEN'S RESTROOM	2	2	2	2	2	2	3	+8'-0"	48" TILE WAINSCOT
112	WOMEN'S RESTROOM	2	2	2	2	2	2	3	+8'-0"	48" TILE WAINSCOT
113	MEN'S RESTROOM	2	2	2	2	2	2	3	+8'-0"	48" TILE WAINSCOT
114	MEN'S RESTROOM	2	2	2	2	2	2	3	+8'-0"	48" TILE WAINSCOT
115	BULL PEN	5	6	3	3	3	3	8	+10'-0"	4" BASE
116	COPY ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE
117	BREAK ROOM	2	6	3	3	3	3	8	+8'-0"	4" BASE
118	WAREHOUSE	1	-	-	-	-	-	4	VARIES	5'-0" PAINTED WAINSCOT
119	HALLWAY	2	6	3	3	3	3	8	+10'-0"	4" BASE
120	STORAGE	1	6	3	3	3	3	8	+8'-0"	4" BASE
201	CONFERENCE ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE
202	RESTROOM	2	2	2	2	2	2	3	+8'-0"	48" TILE WAINSCOT
203	LANDING & STAIRS	9	9	-	-	-	-	1	4	VARIES

FINISH MATERIALS LEGEND:									
1. SEALED CONCRETE									
2. CERAMIC TILE									
3. PAINTED GYP. BOARD									
4. EXPOSED STRUCTURE									
5. CARPET									
6. VINYL BASE									
7. PAINTED CMU BLOCK									
8. SUSPENDED CEILING SYSTEM									
9. PAINTED METAL STAIRWAY AND LANDING									
NOTES:									
1. ALL GYP. BD. WALLS IN RESTROOMS & "DAMP" AREAS TO BE "GREEN" "WR" TYPE GYP. BD.									
2. COORDINATE ALL PAINT COLORS, FINISH SELECTIONS ETC. w/ OWNER.									
3. PROVIDE SOUND BATTS • ALL INTERIOR WALLS.									

DOOR SCHEDULE:

NO.	SIZE	TYPE	JAMB MAT.	JAMB FIN.	JAMB DTL.	DOOR MAT.	DOOR FIN.	THRESH.	HDBR SET	REMARKS
1	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
2	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
3	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
4	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
5	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
6	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
7	3'-0"	7'-0"	A	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
8	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
9	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
10	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
11	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
12	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 C FIRE RISER ROOM DOOR
13	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 C RESTROOM DOOR
14	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 C RESTROOM DOOR
15	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
16	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
17	3'-0"	7'-0"	C	M	P	F	M	P	P/S	DTL 5 C YARD DOOR
18	12'-0"	14'-0"	D	M	P	D	M	P	P	OVER-HEAD ROLL UP DOOR
19	12'-0"	14'-0"	D	M	P	D	M	P	P	OVER-HEAD ROLL UP DOOR
20	3'-0"	7'-0"	C	M	P	F	M	P	P/S	DTL 3 E YARD DOOR
21	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
22	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
23	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 C STORAGE ROOM DOOR
24	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 B PASSAGE DOOR
25	3'-0"	7'-0"	B	M	P	P	4	W	P/S	DTL 5 C RESTROOM DOOR

HARDWARE SETS:									
A. STOREFRONT DOOR: KEY FUNCTION OUTSIDE w/ PULL PANIC HARDWARE INSIDE, CLOSER, WEATHER STRIPPING, THRESHOLD.									
B. PASSAGE DOOR: LATCH BOLT OPERATED BY LEVER FROM EITHER SIDE.									
C. PRIVACY LOCK: LATCH BOLT OPERATED FROM EITHER SIDE, INSIDE LOCKED BY PUSH BUTTON & UNLOCKED BY ROTATING LEVER FROM INSIDE OR EMERGENCY KEY FROM OUTSIDE.									
D. OVERHEAD DOOR: PULL CHAIN DRIVE INSIDE, WEATHER STRIPPING, PANIC HARDWARE INSIDE w/ OUTSIDE LOCK AND PULL, CLOSER, WEATHER STRIPPING, THRESHOLD.									
MATERIALS:									
ALUM. - ALUMINUM									
M - METAL (STEEL)									
P - PAINT									
S - STAIN									
N - NO FINISH									
FINISHES:									
ANO - FACTORY ANODIZED ALUMINUM									
P - FACTORY APPLIED FINISH									
S - STAIN									
N - NO FINISH									
NOTES:									
1. DOOR LOCKS AND LATCHES SHALL COMPLY w/ IBC SEC. 1008.1.3.3 & ADA SEC. 4.13.9.									
2. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE w/o THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER IBC 1003.1.1.1.									
3. PROVIDE LEVER TYPE LOCKS PER ADA 4.13.9.									
4. ALL EXTERIOR GLAZING SHALL BE DOUBLE GLAZED INSULATED, TINTED.									
5. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED SAFETY GLAZING.									

WINDOW SCHEDULE:

NO.	QTY	SIZE	TYPE	FRAME MAT.	FRAME FIN.	DETAILS	SILL HEIGHT	REMARKS
A	21	3'-0"	4'-0"	A	ALUM.	ANO	A B C	3'-0" FIXED WINDOW
B	1	3'-0"	4'-0"	A	ALUM.	ANO	6 6 6	3'-0" FIXED WINDOW

NOTES:								
1. ALL GLAZING SUBJECT TO HUMAN IMPACT LOAD SHALL BE TEMPERED SAFETY GLAZING.								
2. ALL EXTERIOR GLAZING SHALL BE DOUBLE GLAZED INSULATED.								
3. ALL EXTERIOR GLAZING SHALL BE TINTED.								
4. ALL EXTERIOR ALUMINUM FRAMES SHALL BE ANODIZED ALUMINUM.								

REVISIONS

NO.	DESCRIPTION	DATE

CEW ASSOCIATES LLC

ARCHITECTURAL DESIGN

929 7th St. Mesa, AZ 85208
Phone: 480.562.6659
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THE AC DOCTORS

1096 W. MELODY AVE

GILBERT, AZ 85233

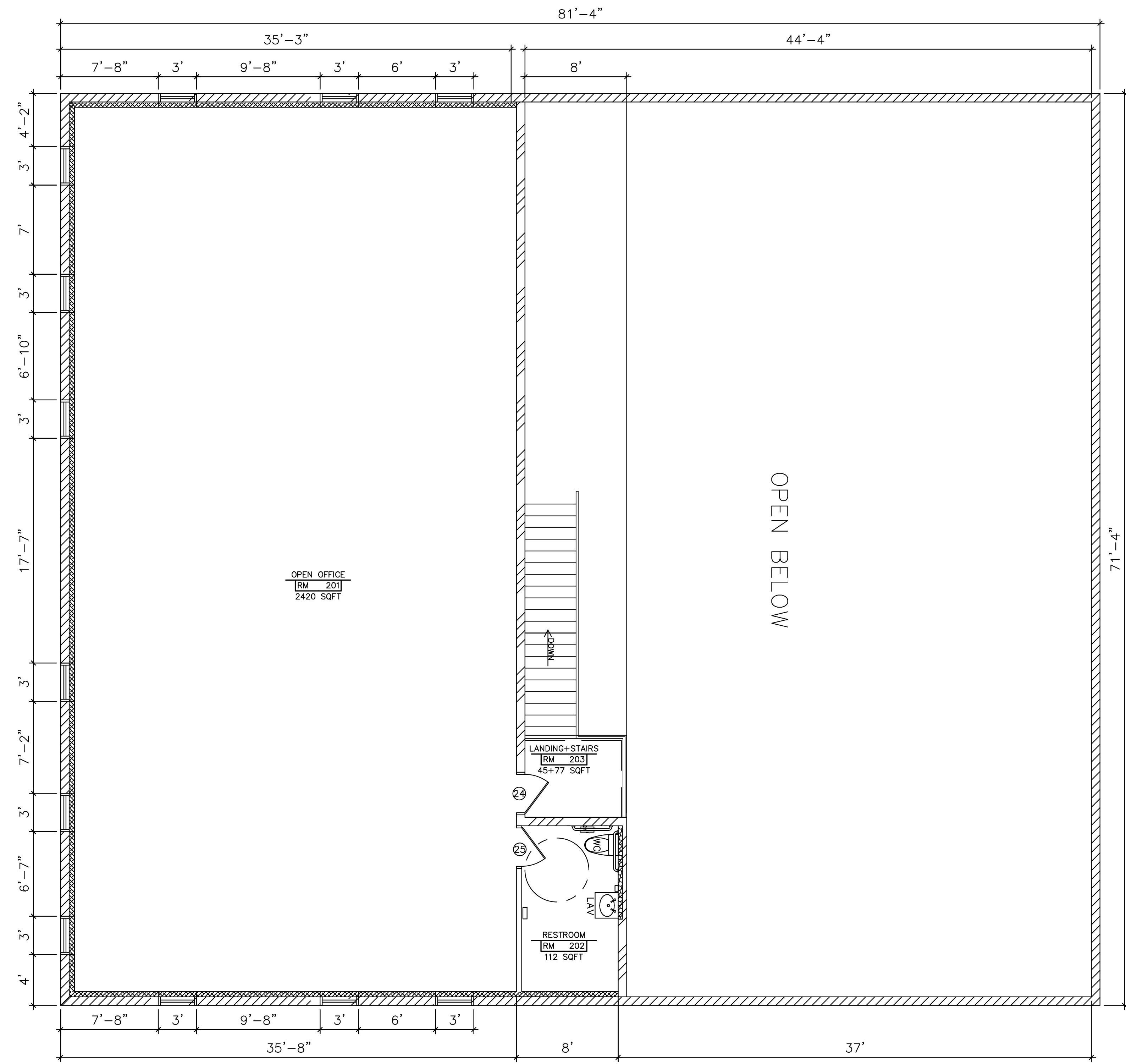
1ST FLOOR PLANS

ARCHITECTURAL DRAWINGS

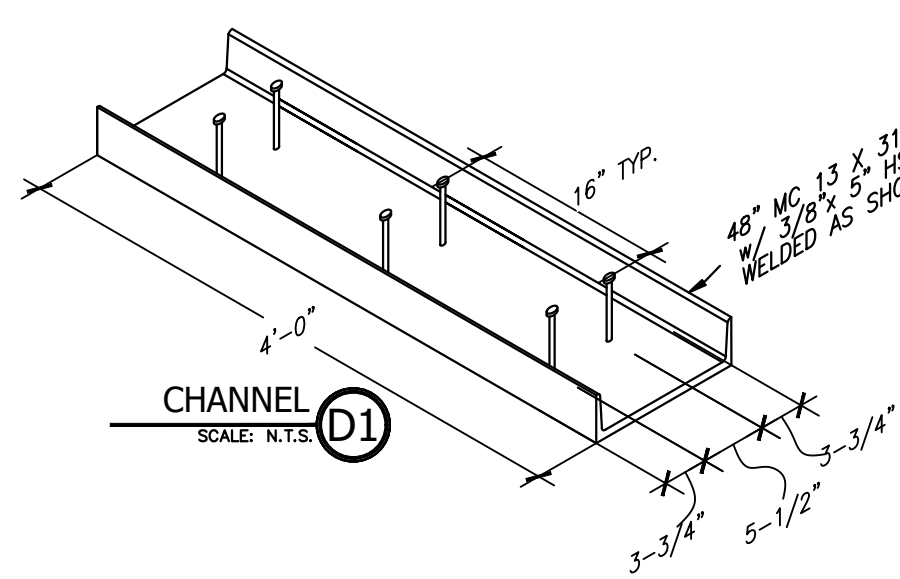
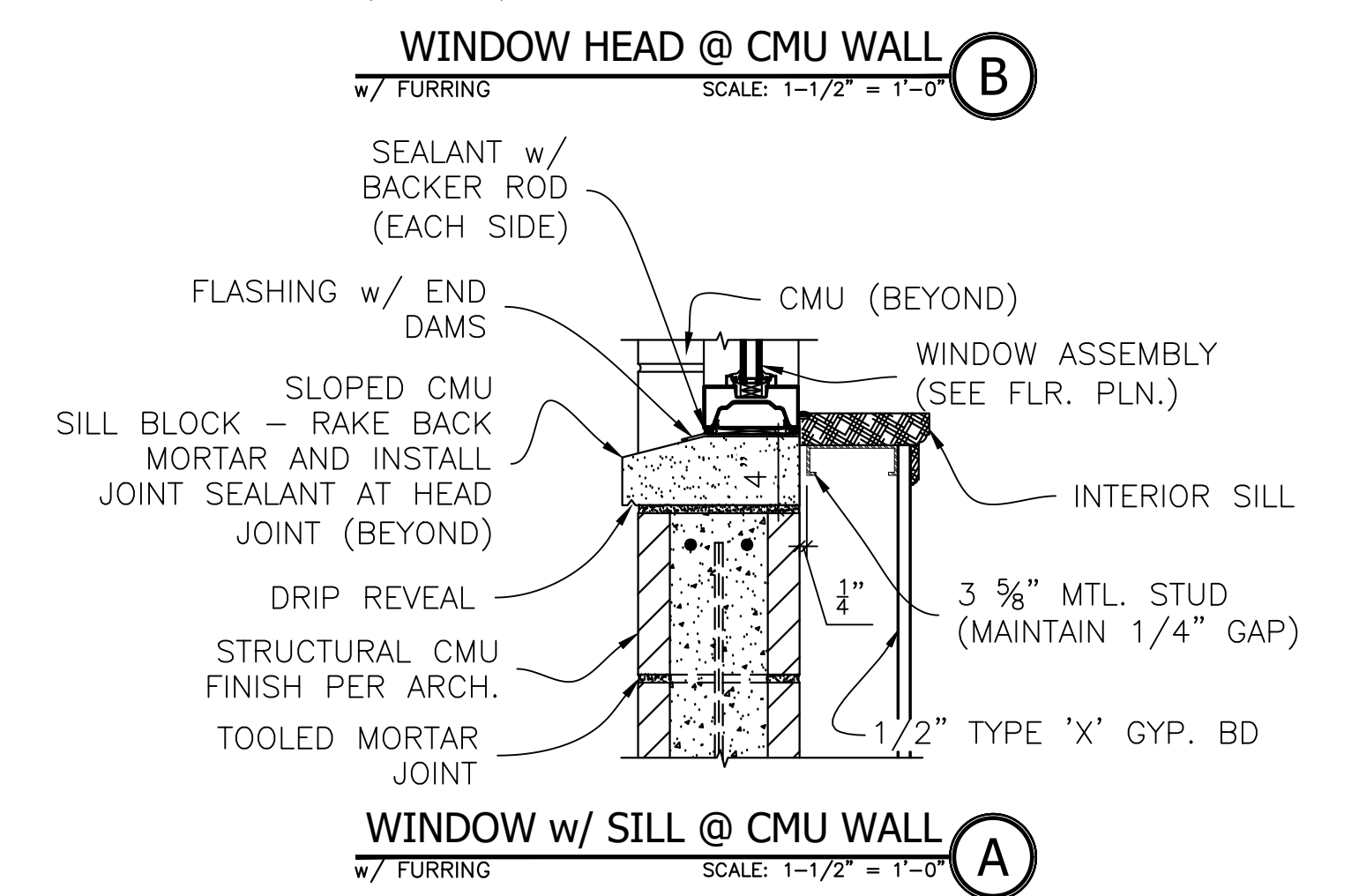
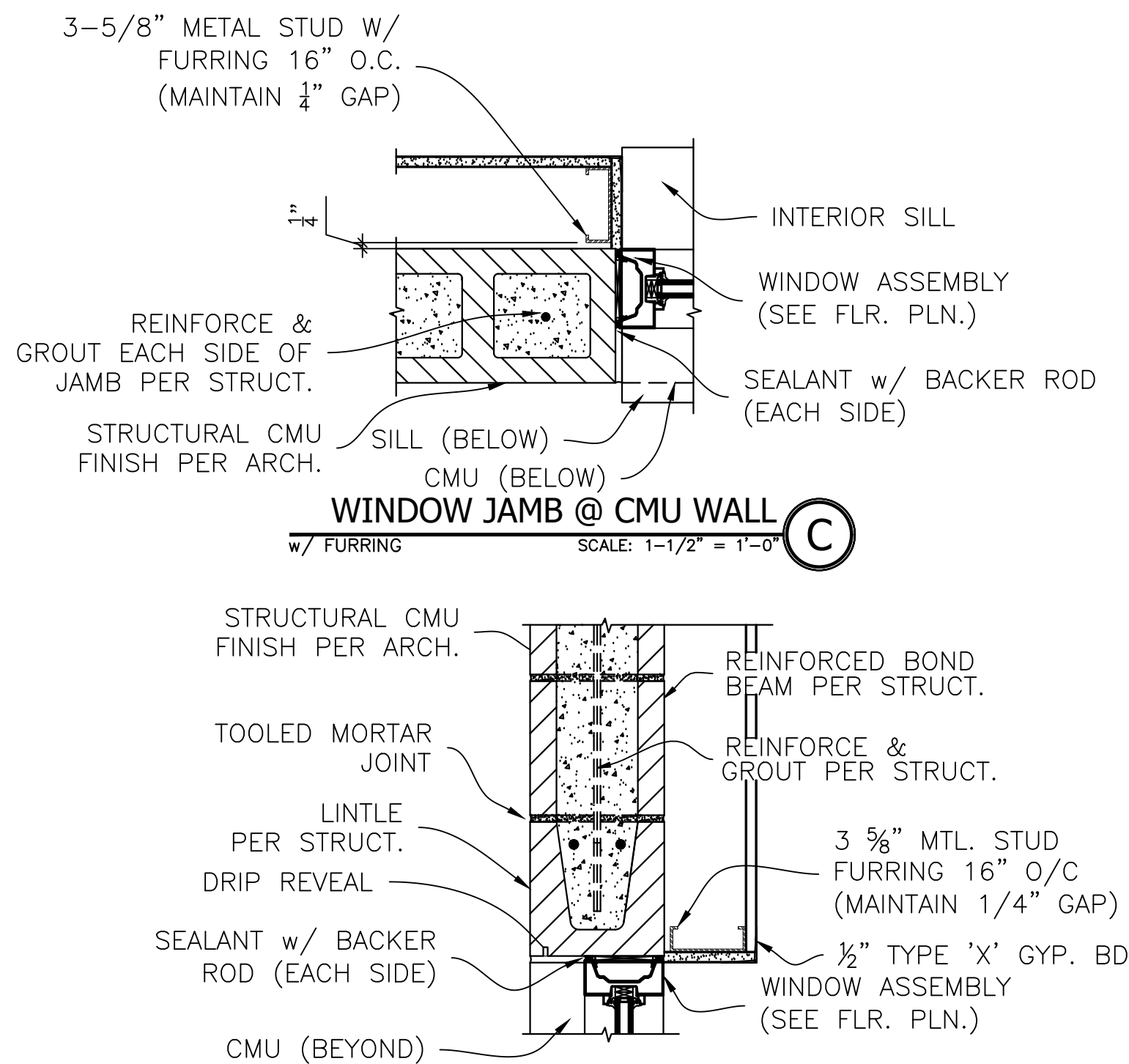
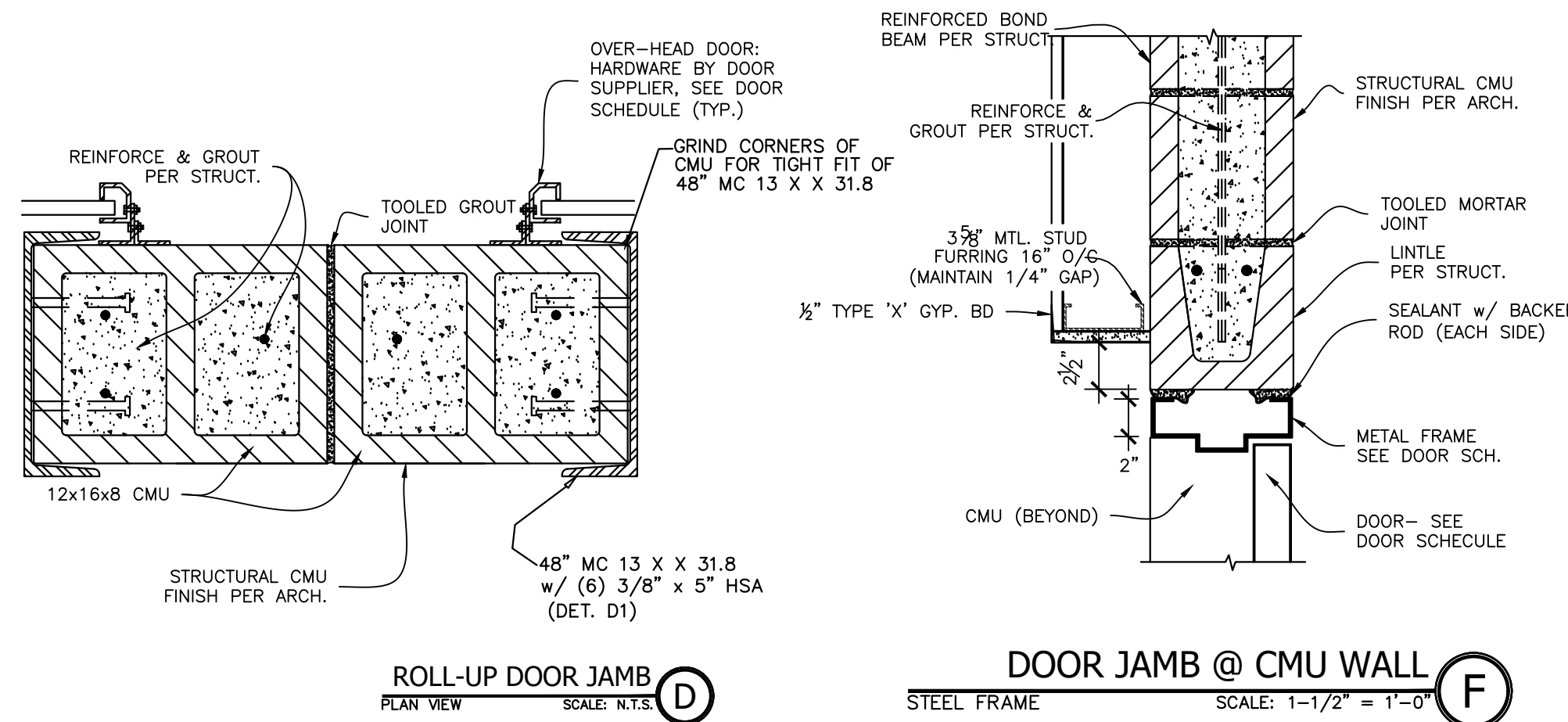
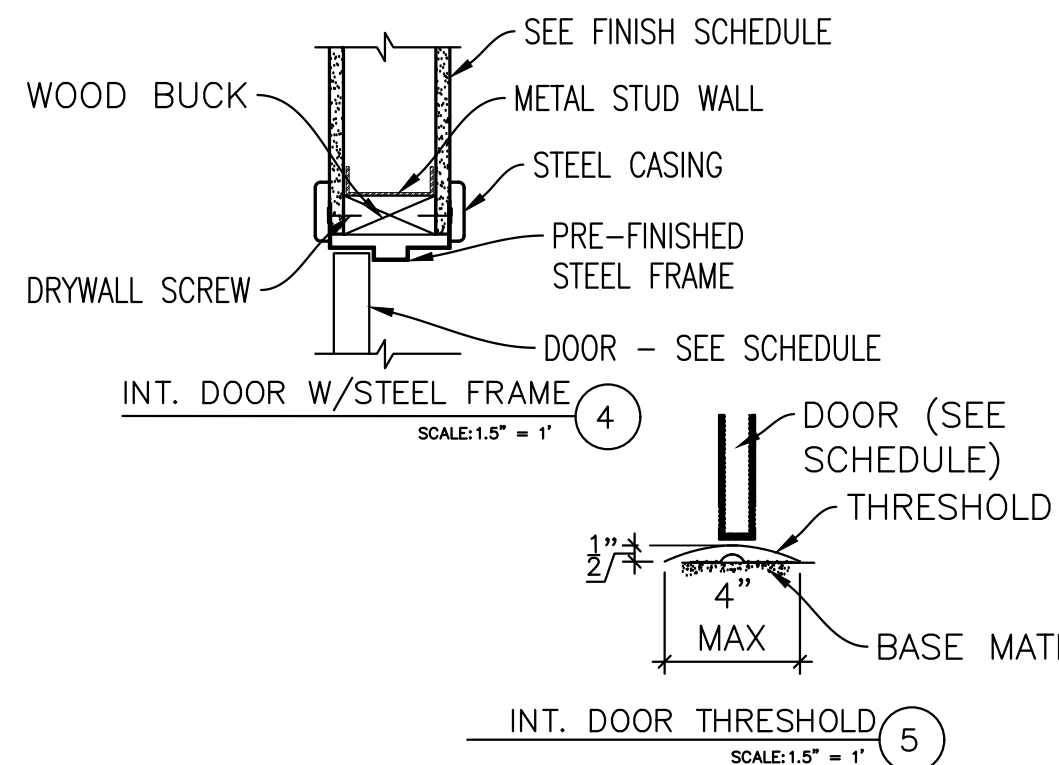
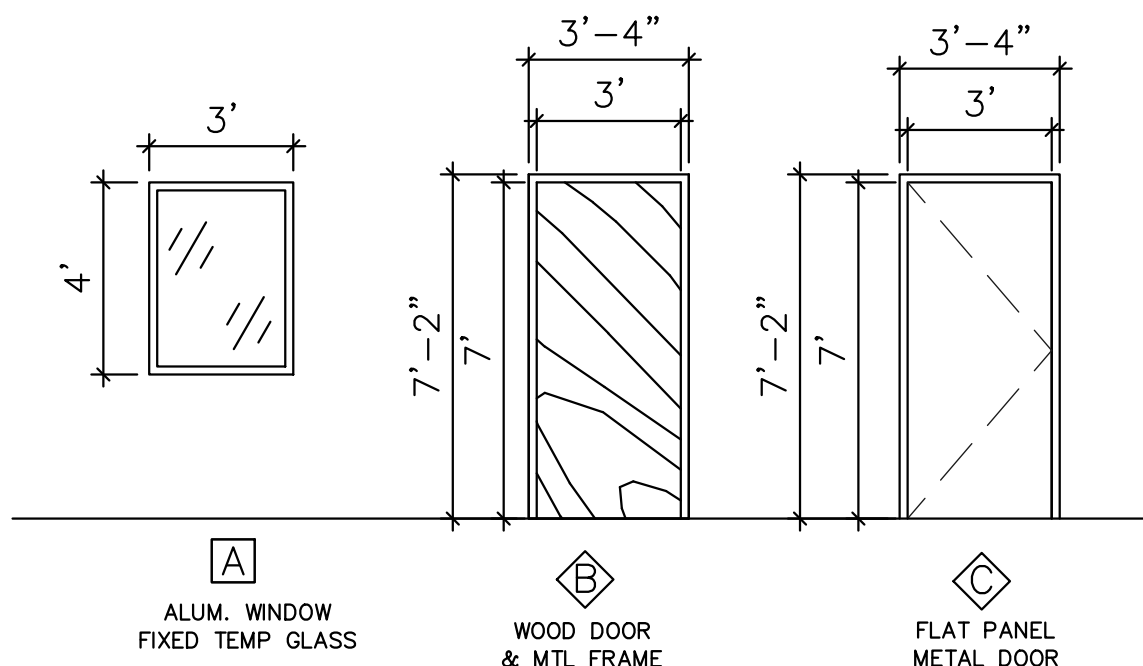
BY MCS DATE 5-1-2019

Exhibit 9

FILE NO.



SECOND FLOOR PLAN
SCALE: 3/16" = 1'



SYMBOL LEGEND											
	DOOR NUMBER	ROOM NAME RM No.	ROOM NUMBER & NAME								
	WINDOW NUMBER	RM No.	OCCUPANCY INDICATOR								
	DETAIL INDICATOR	ROOM NAME	OCCUPANCY INDICATOR								
	SECTION INDICATOR	ROOM NAME	INT. ELEVATION DESIGNATION								
WALL LEGEND											
	CONCRETE MASONRY WALL (CMU WALL)										
	FURRED OUT CMU WALL: EXTERIOR CMU WALL w/3"-5/8" METAL STUDS @ 16" O.C. w/ 1/2" TYPE 'X' GYP. BD. (ONE SIDE) w/ INSULATION TO CEILING HEIGHT.										
	6" METAL STUD PARTITION WALL: 1" TYPE 'X' GYP. BD. (BOTH SIDES) OVER 6" METAL STUDS @ 16" O/C w/ 5/8" FIBERGLASS BATT INSULATION TO CEILING.										
	TYPICAL INTERIOR PARTITION: 1/2" TYPE 'X' GYP. BD. (BOTH SIDES) OVER 3-5/8" METAL STUDS @ 16" O/C w/ 3-1/2" FIBERGLASS BATT INSULATION TO 8" ABOVE HIGHEST ADJACENT CEILING.										
	TYPICAL PLUMBING PARTITION: 1/2" GYP. BD. (EXPOSED SIDES) OVER 6" METAL STUDS @ 16" o/c w/ FIBERGLASS BATT INSULATION TO 6" ABOVE HIGHEST ADJACENT CEILING. USE 'GREEN' GYP. BD. IN RESTROOMs & IN ANY OTHER DAMP AREAS.										
ROOM FINISH SCHEDULE:											
ROOM NO.	ROOM NAME	FLOOR MATERIAL	BASE MAT.	N	E	S	W	CEILING MATERIAL	CEILING HEIGHT	REMARKS:	
101	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
102	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
103	CONFERENCE ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE	
104	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
105	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
106	RECEPTION	2	6	3	3	3	3	8	+8'-0"	4" BASE	
107	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
108	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
109	OFFICE	5	6	3	3	3	3	8	+8'-0"	4" BASE	
110	FIRE RISER ROOM	1	6	3	3	3	3	3	+8'-0"	4" BASE	
111	WOMENS RESTROOM	2	2					3	+8'-0"	48" TILE WAINSCOT	
112	WOMENS RESTROOM	2	2					3	+8'-0"	48" TILE WAINSCOT	
113	MENS RESTROOM	2	2					3	+8'-0"	48" TILE WAINSCOT	
114	MENS RESTROOM	2	2					3	+8'-0"	48" TILE WAINSCOT	
115	BULL PEN	5	6	3	3	3	3	8	+10'-0"	4" BASE	
116	COPY ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE	
117	BREAK ROOM	2	6	3	3	3	3	8	+8'-0"	4" BASE	
118	WAREHOUSE	1	-					4	VARIES	5'-0" PAINTED WAINSCOT	
119	HALLWAY	2	6	3	3	3	3	8	+10'-0"	4" BASE	
119	STORAGE	1	6	3	3	3	3	8	+8'-0"	4" BASE	
201	CONFERENCE ROOM	5	6	3	3	3	3	8	+8'-0"	4" BASE	
202	RESTROOM	2	2					3	+8'-0"	48" TILE WAINSCOT	
203	LANDING & STAIRS	9	9	-	-	-	-	1	4	VARIES	
FINISH MATERIALS LEGEND:											
1. SEALED CONCRETE											
2. CERAMIC TILE											
3. PAINTED GYP. BOARD											
4. EXPOSED STRUCTURE											
5. CARPET											
6. VINYL BASE											
7. PAINTED CMU BLOCK											
8. SUSPENDED CEILING SYSTEM											
9. PAINTED METAL STAIRWAY AND LANDING											
NOTES:											
1. ALL GYP. BD. WALLS IN RESTROOMS & 'DAMP' AREAS TO BE 'GREEN' 'WR' TYPE GYP. BD.											
2. COORDINATE ALL PAINT COLORS, FINISH SELECTIONS TO 'W' OWNER.											
3. PROVIDE SOUND BATTS @ ALL INTERIOR WALLS.											
DOOR SCHEDULE:											
NO.	SIZE		TYPE	JAMB MAT.	JAMB FIN.	JAMB DTL.	DOOR MAT.	DOOR FIN.	THRES. H-OLD	HWDR SET	REMARKS:
	W	H									
1	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
2	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
3	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
4	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
5	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
6	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
7	3'-0"	7'-0"	A	M	PRE	4	W	P/S	DTL 3	E	STORE FRONT DOOR
8	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
9	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
10	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
11	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	E	FIRE RISER ROOM DOOR
12	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	RESTROOM DOOR
13	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	RESTROOM DOOR
14	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	RESTROOM DOOR
15	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
16	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	RESTROOM DOOR
17	3'-0"	7'-0"	C	M	PRE	F	M	P/S	DTL 3	E	YARD DOOR
18	12'-0"	14'-0"	D	M	PRE	D	M	PRE	-	D	OVER-HEAD ROLL UP DOOR
19	12'-0"	14'-0"	D	M	PRE	D	M	PRE	-	D	OVER-HEAD ROLL UP DOOR
20	3'-0"	7'-0"	C	M	PRE	F	M	P/S	DTL 3	E	YARD DOOR
21	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
22	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
23	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	STORAGE ROOM DOOR
24	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	B	PASSAGE DOOR
25	3'-0"	7'-0"	B	M	PRE	4	W	P/S	DTL 5	C	RESTROOM DOOR
HARDWARE SETS:											
A. STOREFRONT DOOR:											
1. KEY FUNCTION OUTSIDE w/ PULL, PANIC HARDWARE INSIDE, CLOSER, WEATHER STRIPPING, THRESHOLD.											
B. PASSAGE:											
1. LATCH LOCK OPERATED BY LEVER FROM EITHER SIDE.											
C. PRIVACY LOCK:											
1. LATCH LOCK OPERATED FROM EITHER SIDE, INSIDE LOCKED BY PUSH BUTTON & UNLOCKED BY ROTATING LEVER FROM INSIDE OR EMERGENCY KEY FROM OUTSIDE.											
D. OVERHEAD DOOR:											
1. PULL CHAIN DRIVE INSIDE, WEATHER STRIPPING.											
E. PANIC:											
1. PANIC HARDWARE INSIDE w/ OUTSIDE LOCK AND PULL, CLOSER, WEATHER STRIPPING, THRESHOLD.											
MATERIALS:											
FINISHES:											
ALUM. - ALUMINUM											
M - METAL (STEEL)											
W - WOOD											
ANO - FACTORY ANODIZED ALUMINUM											
PRE - FACTORY APPLIED FINISH											
PAINT											
S - STAIN											
NO FINISH											
NOTES:											
1. DOOR LOCKS AND LATCHES SHALL COMPLY w/ IRC SEC. 1008.1.8.3 & ADA SEC. 413.9.											
2. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE w/o THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER IRC 1003.1.8.											
3. PROVIDE LEVER TYPE LOCKS PER ADA 413.9.											
4. ALL EXTERIOR GLAZING SHALL BE DOUBLE GLAZED INSULATED, TINTED.											
5. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED SAFETY GLAZING.											
WINDOW SCHEDULE:											
NO.	QTY	SIZE		TYPE	FRAME MAT.	FRAME FIN.	DETAILS	SILL HEIGHT	REMARKS:		
		W	H				R J S				
A	21	3'-0"	4'-0"	A	ALUM.	ANO	A B C	3'-0"	FIXED WINDOW		
B	1	3'-0"	4'-0"	A	ALUM.	ANO	6 6 6	3'-0"	FIXED WINDOW		
NOTES:											
1. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED SAFETY GLAZING.											
2. ALL EXTERIOR GLAZING SHALL BE DOUBLE GLAZED INSULATED											
3. ALL INTERIOR GLAZING SHALL BE TINTED.											
4. ALL EXTERIOR ALUMINUM FRAMES SHALL BE ANODIZED ALUMINUM.											

DATE:

DESCRIPTION

REVISIONS

DATE

DESCRIPTION

CEW. ASSOCIATES LLC

ARCHITECTURE DESIGN

929 7th St. Mesa, AZ 85208

Phone: 480-562-6659

email: cewassociates@yahoo.com

THE AC DOCTORS

1096 W. MELODY AVE

GILBERT, AZ 85233

2ND FLOOR PLAN

ARCHITECTURAL DRAWINGS

BY MCS DATE 5-1-2019

Exhibit 9

FILE NO.

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[illegible]

C.E.W. ASSOCIATES LLC
ARCHITECTURE, DESIGN

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email: cewassociates@yahoo.com

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GILBERT, AZ 85233

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ARCHITECTURAL DRAWINGS

MCS	08-01-2019
DATE	

EXHIBIT 10

FILE NO.



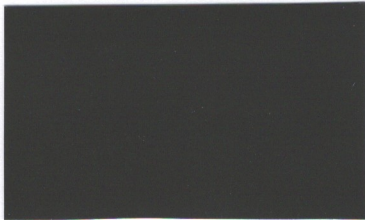
PHOTOMETRIC PLAN

SCALE: 1/16"=1'

NOTE;
SEE SHEET EL-1 FOR
LIGHTING FIXTURES

NOTE;
ALL OUTDOOR LIGHTING FIXTURES SHALL COMPLY
WITH GILBERT MUNICIPAL CODE CHAPTER 42,
ARTICAL, SECTION 42-34, TO PREVENT LIGHT
POLLUTION TRESPASS FROM THE PROPERTY
UPON WHICH IT IS LOCATED.

DR19-63 A/C Doctors
Attachment 8: Colors and Materials
September 4, 2019

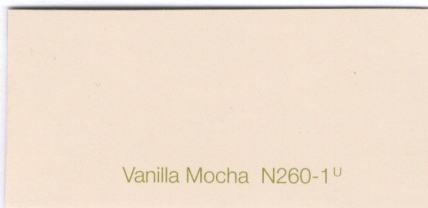
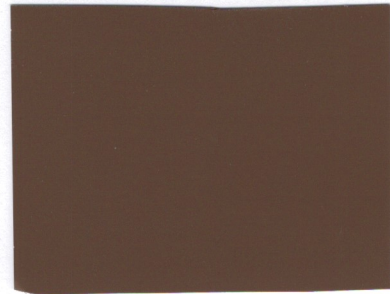


STOREFRONT
DARK BRONZE, ALUMINUM

ACCENT/
METAL CANOPY
MBCI-KOKO BROWN



SPLIT FACED CMU WAINSCOT
SASSAFRAS TEA HDC-CL-13



BUILDING CMU BASE COLOR
BEHR VANILLIA MOCHA N260-1

ACCENT COLOR
WESTMINSTER N270-6



ACCENT COLOR
SASSAFRAS TEA HDC-CL-13

ROLL UP DOOR
PRE FINISHED STEEL
BEIGE



1906 W. MELODY AVE.
GILBERT ARIZONA 85233

COLOR CHART
OFFICE & SHOP BUILDING
FOR
THE A/C/ DOCTORS LLC

C.E.W Associates LLC
ARCHITECTURE, DESIGN

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